

Notice of Type II Application Non-SEPA

The Department of Community Development has received an application for development review, as described below. This application is subject to public notice and administrative review (no public hearing) conducted pursuant to Clark County Code, Section 40.510.020 and applicable code sections as listed below.

Closing date for public comments: July 28, 2020

Project Name:	Klundt Short Plat
Case Number:	PLD-2019-00049
Request:	The applicant is proposing a four (4) lot urban short plat in the R1-6 zone.
Location:	2117 NW 69 th Street
Applicant:	Chris Avery 2200 E. Evergreen Blvd. Vancouver, WA 98661 csa@mgsurvey.com
Property owner:	Arthur & Celia Klundt 6009 NW Thunderbird Avenue Vancouver, WA 98663 tntklundt@msn.com
Staff contact:	Bryan Mattson (564) 397-4319 Bryan.mattson@clark.wa.gov
Neighborhood contact:	West Hazel Dell Neighborhood Association Ila Stanek 360.573.3314 E-mail: whdna@comcast.net
Legal description of property:	Parcel Account #146701-010 Lot 3 SP1-416, located in the Northwest ¼ of Section 9, Township 2 North, Range 1 East, Willamette Meridian
Plan/Zone designation:	Urban Low Density Residential/R1-6

Revised 7/9/13



Community Development
1300 Franklin Street, Vancouver, Washington
Phone: 564.397.2375 Fax: 360.397.2011
www.clark.wa.gov/development



For an alternate format,
contact the Clark County
ADA Compliance Office.
Phone: 564.397.2322
Relay: 711 or 800.833.6384
E-mail: ADA@clark.wa.gov

Approval Standards/Applicable Laws

Clark County Code: Title 15 (Fire Prevention), Section 40.220.010 (Single-Family Residential District), Section 40.350, (Transportation), Section 40.350.020 (Transportation Concurrency), Chapter 40.386 (Storm Water Drainage and Erosion Control), , Sections 40.500 and 40.510 (Procedures), Section 40.540 (Land Division Ordinance), Section 40.610 (Impact Fees), Title 24 (Public Health), RCW 58.17, and the Clark County Comprehensive Plan.

Application and Fully Complete Date

Application date: April 24, 2020

Fully Complete date: May 29, 2020

Timelines/Process

Decisions on Type II applications are made within 78 calendar days of the Fully Complete Review date, noted above, unless placed on hold for submittal of additional information. Information regarding this application can be obtained by calling 564.397.4319, visiting the Clark County Permit Center, 1300 Franklin Street, Vancouver, Washington 98660, or checking the status online at www.clark.wa.gov/development.

Community Development Web site - www.clark.wa.gov/development

- Weekly Preliminary Plan Review Status Report - includes current applications
- Pre-Application Conferences and Land Use Hearing agendas
- Applications and handouts for each type of land use permit

Public Comment

The public is encouraged to comment on this proposal. Comments received by the closing date noted below will be considered in the staff report. This notice is intended to inform potentially interested parties about the application and invite written comments regarding any concerns.

An accurate mailing address for those mailing comments must be included or they will *not* qualify as a "Party of Record" and, therefore, will not have standing to appeal the decision.

In Person: The Community Development is located in the Public Service Center, first and third floors, 1300 Franklin Street, Vancouver, Washington 98660.

Mail: Attn: Bryan Mattson
Department of Community Development
P.O. Box 9810
Vancouver, WA. 98666-9810

Email: bryan.mattson@clark.wa.gov

Date of this notice: July 13, 2020

Attachments:

- Proposed Development Plan

KLUNDT SHORT PLAT

2117 NW 69TH STREET
VANCOUVER, WA 98665
TAXLOT# 146701-010

SITE INFORMATION

1. PARCEL NO. 146701-010
2. ADDRESS- 2117 NORTHWEST 69TH STREET
VANCOUVER, WA, 98665

SITE DATA:

LOT #1	2,500 SF	PAVEMENT
LOT #2	2,007 SF	ASPH
LOT #3	2,500 SF	ASPH
LOT #4	2,500 SF	ASPH
LOT #5	776 SF	LAUSEP
LOT #6	13,614 SF	LAUSEP

NET AREA: 0.7 AC 34,882 SF
SERVICED: ROAD SETBACK = 10' GARAGE
SETBACK = 10' SIDE (INTERIOR) = 10'

PROJECT INFORMATION

APPLICANT
TONY KLUNDT
10000 15TH AVENUE
VANCOUVER, WA 98665
(509)565-5159
TINKLUNDTR@M.N.COM

PROPERTY OWNER
ARTHUR & CELIA KLUNDT
2117 NW 69TH STREET
VANCOUVER, WA 98665

PRIMARY CONTACT
CHAD AVERTY
MINISTER-GLAESER SURVEYING, INC.
2000 E. EVERGREEN BLVD
VANCOUVER, WA 98641
(509) 464-8110
CHAD@MGSURVEY.COM

CIVIL ENGINEER
JOHN DODSON, LLC
101 S. PARKWAY AVENUE, STE 201
PO BOX 1281
BATTLE GROUND, WA 98004
(509) 464-8110
ADVANCE@JDADESIGN.COM

PROJECT NAME
KLUNDT SHORT PLAT



Sheet Number	Sheet Title
C-101	PRELIMINARY DEVELOPMENT PLAN
C-102	PRELIMINARY STORMWATER PLAN
C-103	PRELIMINARY UTILITY PLAN

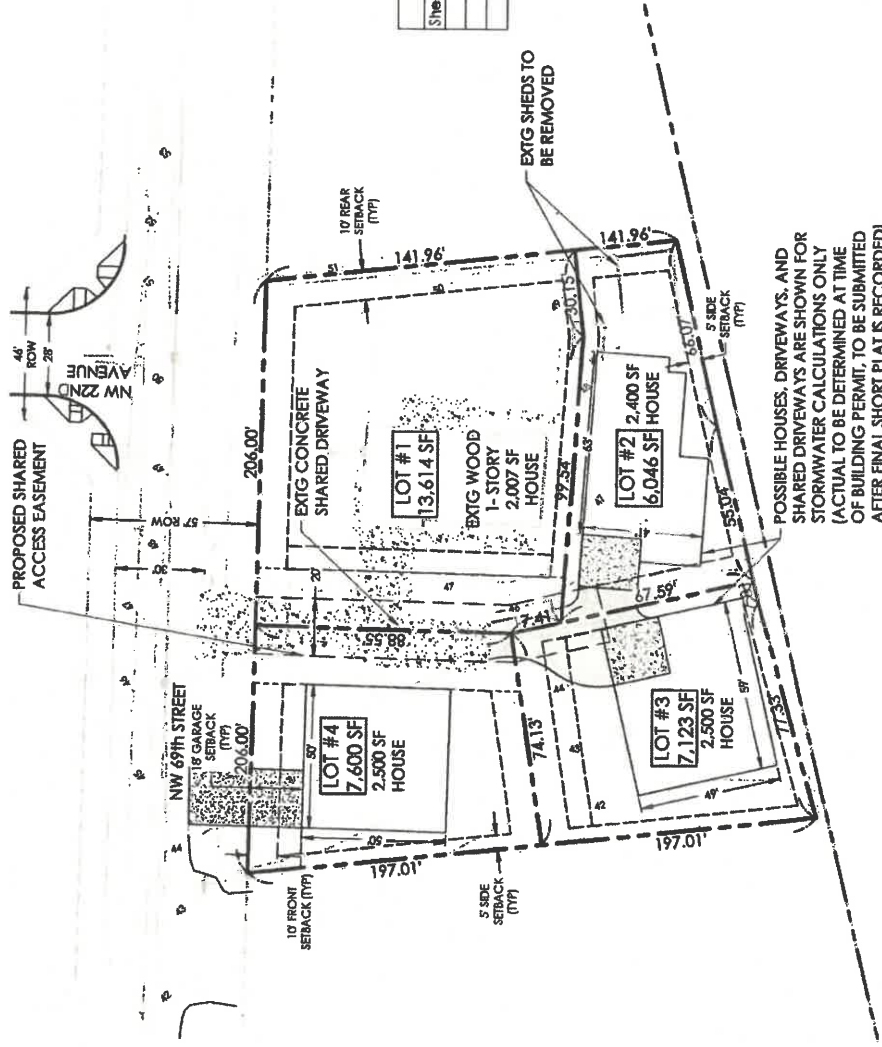
PROJECT NAME
KLUNDT SHORT PLAT

CURT:
MINISTER-GLAESER SURVEYING, INC.

PROJECT LOCATION:
CLARK COUNTY, WA

DATE
12/29/2020

DESCRIPTION
Based for review.



POSSIBLE HOUSES, DRIVEWAYS, AND SHARED DRIVEWAYS ARE SHOWN FOR STORMWATER CALCULATIONS ONLY (ACTUAL TO BE DETERMINED AT TIME OF BUILDING PERMIT. TO BE SUBMITTED AFTER FINAL SHORT PLAT IS RECORDED)



NOTE: BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY.

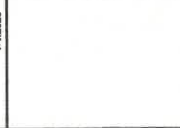
PERMIT DOCUMENTS

Exhibit 11

PRELIMINARY DEVELOPMENT PLAN
SHEET
C-101



Joma Design, LLC
10500 1st Ave.
Suite 201
Battle Ground, WA 98604
(509) 725-0992
www.jomadesign.com



PROJECT NAME:
KLUINDT SHORT PLAT
CLIENT:
MINISTER-GLAESER SURVEYING, INC.
PROJECT LOCATION:
CLARK COUNTY, WA

MARK	DATE	DESCRIPTION
1	07/01/2022	Issued for review.

PROJECT:	19092
DESIGNED:	DCS
DRAWN:	SAK
CHECKED:	BJJ
SCALE:	SCALE AS NOTED
SHEET TITLE:	PRELIMINARY STORMWATER PLAN
SHEET:	C-102

PROJECT INFORMATION

ADJACENT PROPERTY:
6009 NW THUNDERBOLD AVENUE
VANCOUVER, WA 98645
(509)6262188
THUNDERBOLD.COM

PROJECT OWNER:
MINISTER-GLAESER SURVEYING, INC.
2200 E EVERGREEN BLVD
VANCOUVER, WA 98601
(509) 694-5410
CLAS@SURVEY.COM

PREPARED BY:
CHRIS AVERY
MINISTER-GLAESER SURVEYING, INC.
2200 E EVERGREEN BLVD
VANCOUVER, WA 98601
(509) 694-5410
CLAS@SURVEY.COM

Civil Engineer:
JOLIA DESIGN, LLC
10 S. PARKWAY AVENUE STE 201
BATTLE GROUND, WA 98604
(509) 725-0992
ADMIN@JOMADESIGN.COM

PROJECT NAME:
KLUINDT SHORT PLAT

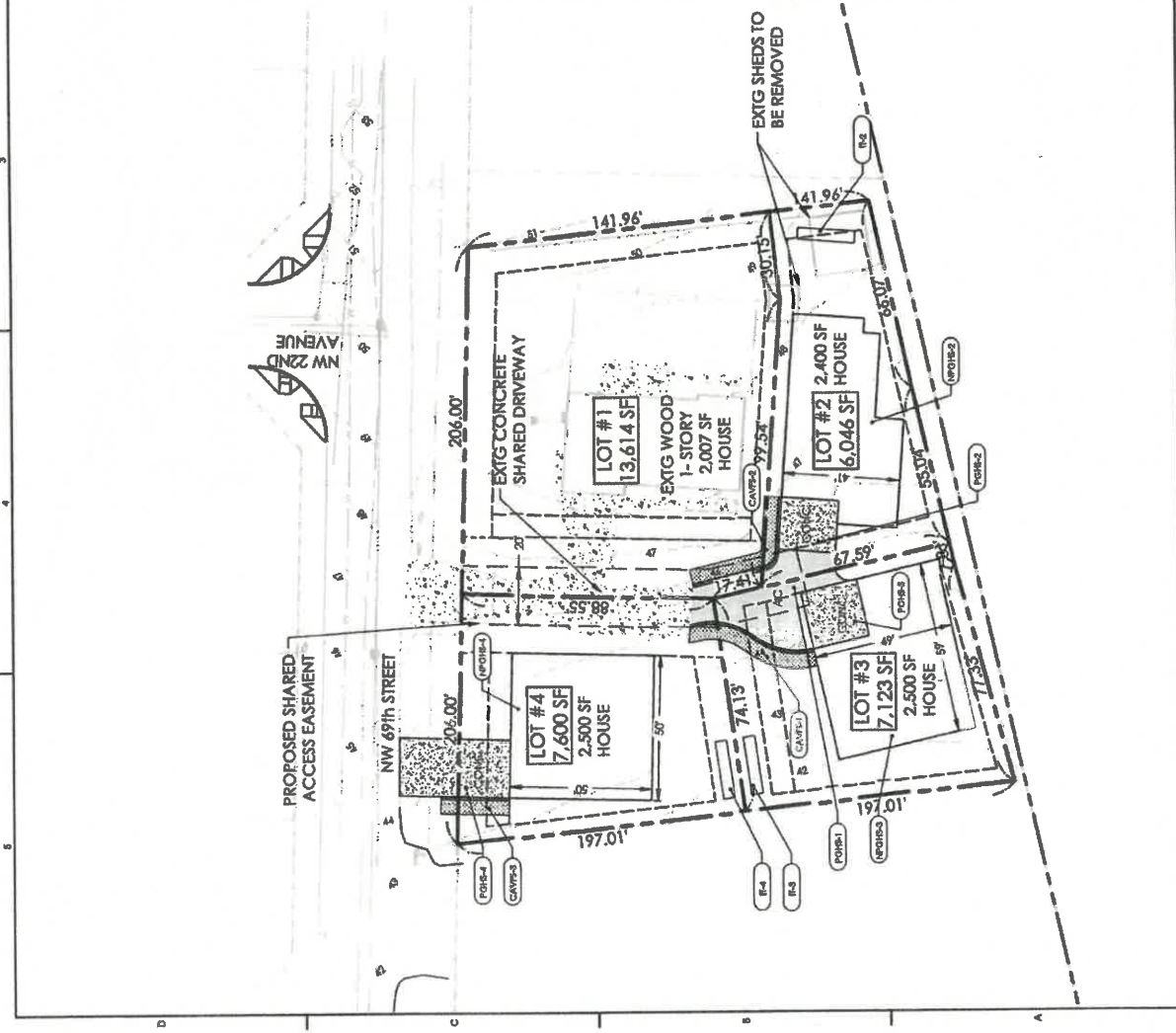
STORMWATER BMP SCHEDULE			
MARK	DESCRIPTION	MANAGED AREA (SF)	DESIGN DETAILS
IR-1	INFILTRATION TRENCH	2,400	TOTAL TRENCH LENGTH = 20 FT TRENCH WIDTH = 4 FT TRENCH DEPTH = 4 FT
IR-2	INFILTRATION TRENCH	2,500	TOTAL TRENCH LENGTH = 20 FT TRENCH WIDTH = 4 FT TRENCH DEPTH = 4 FT
IR-3	INFILTRATION TRENCH	2,500	TOTAL TRENCH LENGTH = 20 FT TRENCH WIDTH = 4 FT TRENCH DEPTH = 4 FT
CAVFS-1	CAVFS DRIVEWAY FLAT	1,432	MINIMUM FILTER STRIP WIDTH = 5 FT MINIMUM FILTER STRIP LENGTH = 45 FT AMENDED SOIL DEPTH = 6 IN
CAVFS-2	CAVFS DRIVEWAY FLAT	340	MINIMUM FILTER STRIP WIDTH = 5 FT MINIMUM FILTER STRIP LENGTH = 52 FT AMENDED SOIL DEPTH = 6 IN
CAVFS-3	CAVFS DRIVEWAY FLAT	776	MINIMUM FILTER STRIP WIDTH = 5 FT MINIMUM FILTER STRIP LENGTH = 27 FT AMENDED SOIL DEPTH = 6 IN

IMPERVIOUS AREA SCHEDULE			
MARK	DESCRIPTION	AREA (SF)	RUNOFF MANAGEMENT BMP
IR-1	HOUSE ROOF, LOT 2	2,400	IR-1
IR-2	HOUSE ROOF, LOT 3	2,500	IR-2
IR-3	HOUSE ROOF, LOT 4	2,500	IR-3
CAVFS-1	SHARED DRIVEWAY, LOT 2 & 3	1,032	CAVFS-1
CAVFS-2	APRON, LOT 2	340	CAVFS-2
CAVFS-3	APRON, LOT 3	400	CAVFS-3
CAVFS-4	APRON, LOT 4	776	CAVFS-3



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PERMIT DOCUMENTS





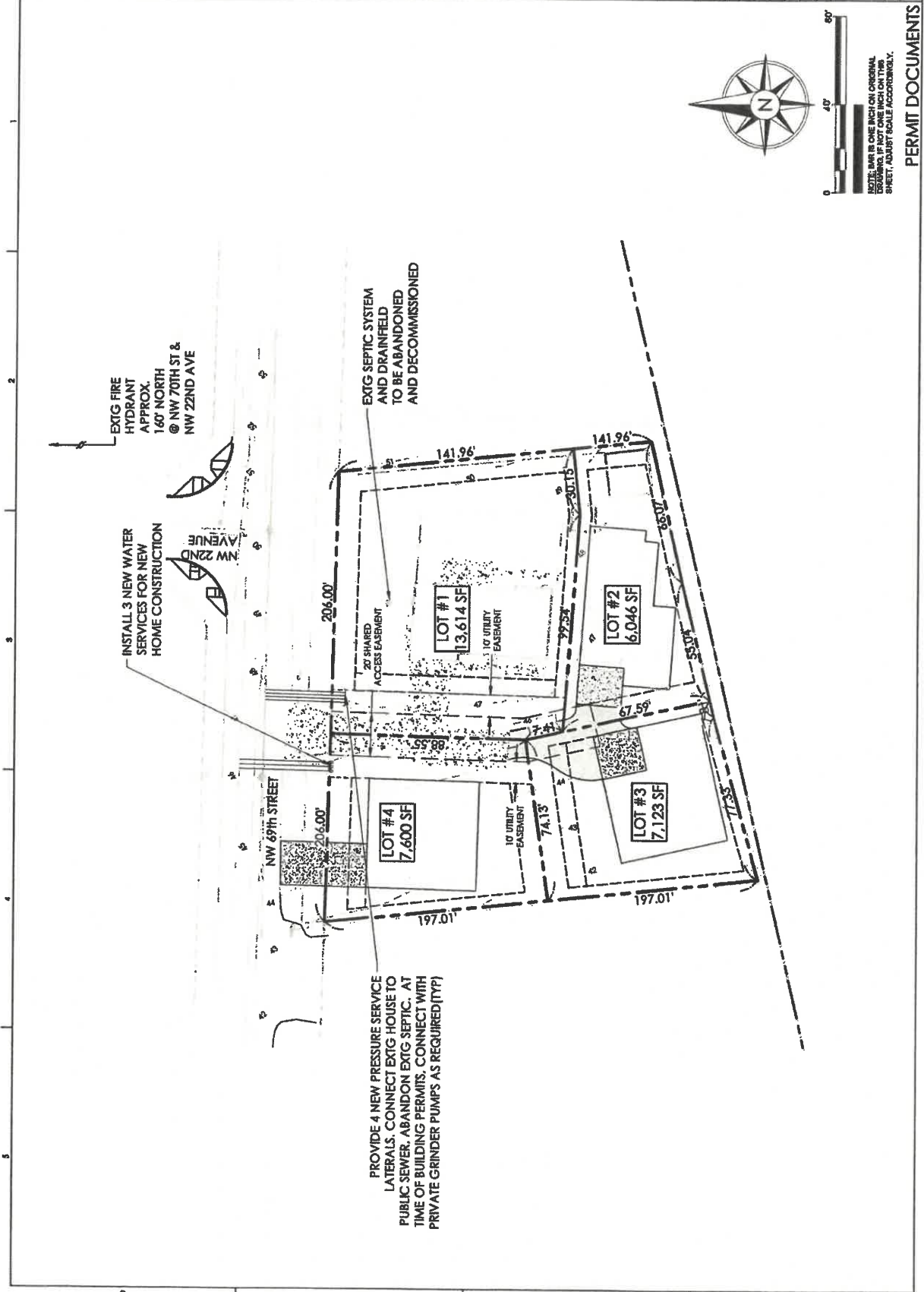
JPM Design, LLC
 10 South Parkway Ave.
 Ste. 201
 Dallas, TX 75241-8804
 (800) 738-0092
 www.jpmdesign.com



PROJECT NAME:
 KLUNDT SHORT PLAT
 CLIENT:
 MINISTER-GLAESER SURVEYING, INC.
 PROJECT LOCATION:
 CLARK COUNTY, WA

NO.	DATE	DESCRIPTION
1	04/27/2020	Issued for review.

PROJECT: 19092
 DESIGNER: DGS
 DRAWN: SAK
 CHECKED: BJJ
 SCALE:
 SCALE AS NOTED
 SHEET TITLE:
 PRELIMINARY UTILITY PLAN
 SHEET: C-103



NOTE: THIS IS ONE INCH ON ORIGINAL SCALE. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE ACCORDINGLY.

PERMIT DOCUMENTS



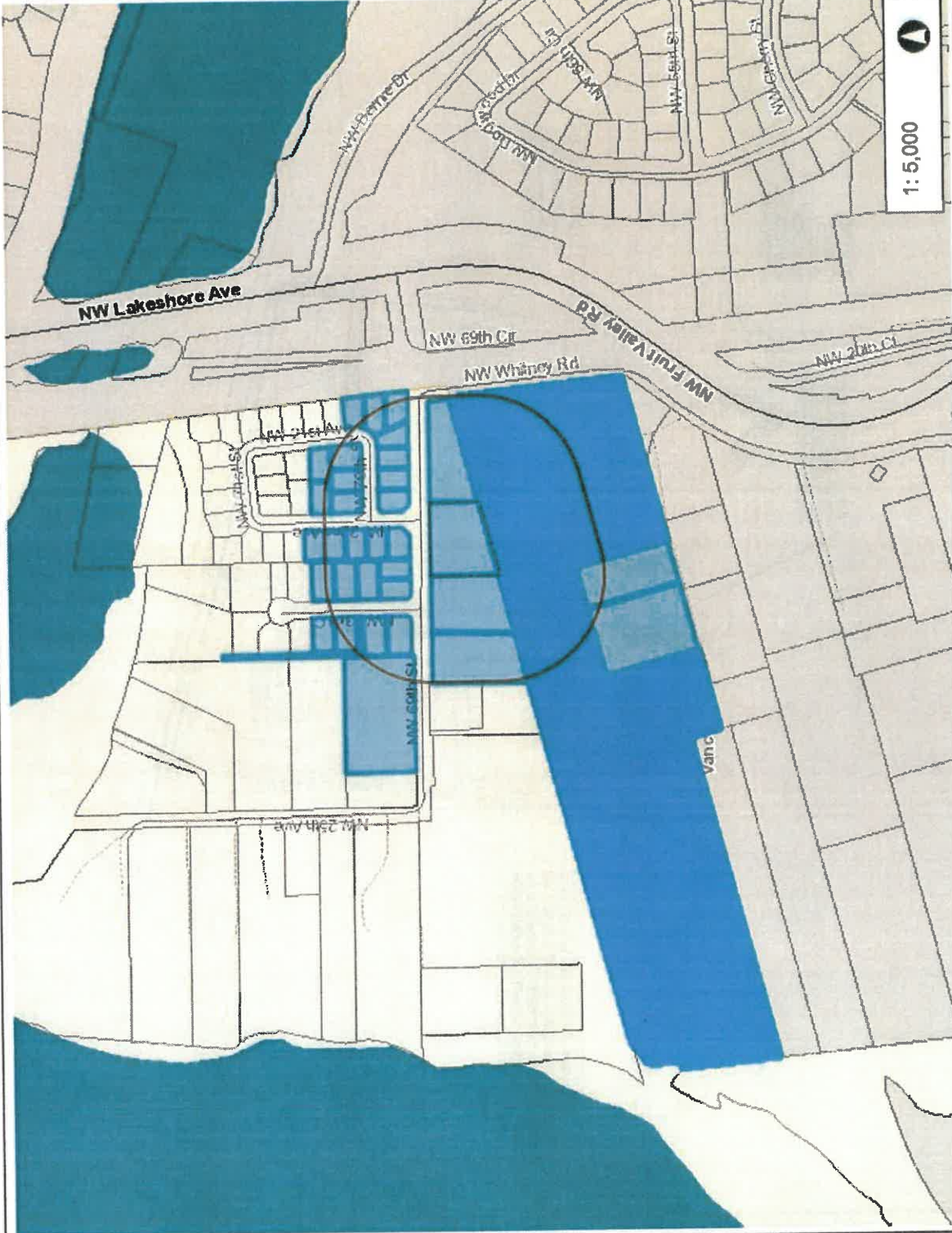
Klundt Short Plat 300' List



Legend

- Taxlots
- Cities Boundaries
- Urban Growth Boundaries

Notes:
Parcels within 300 foot radius of the project.



1: 5,000

This map was generated by Clark County's "MapsOnline" website. Clark County does not warrant the accuracy, reliability or timeliness of any information on this map, and shall not be held liable for losses caused by using this information.

833.3 0 416.67 833.3 Feet

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Clark County, WA. GIS - <http://gis.clark.wa.gov>