

PROJECT NOTES

PARCEL NUMBERS:
186372000, 186219000, 186354000, 186286000

SITE ADDRESS:
3116 NE 119TH ST, VANCOUVER, WA

SITE AREA:
18637200: 194,516 SQ. FT. (4.47 ACRES)
186219000: 155,662 SQ. FT. (3.57 ACRES)
186354000: 28,907 SQ. FT. (0.66 ACRES)
186286000: 31,526 SQ. FT. (0.72 ACRES)
TOTAL: 410,611 SQ. FT. (9.43 ACRES)

PROPOSED LOT AREAS:
There are 40 lots proposed to be used for single-family residences.
Average Lot Area = 5,469 SQ. FT.

TRANSPORTATION
NE 119th Street has 5' wide bicycle lanes and 6' wide detached sidewalk on either side of the street. C-Tran runs along NE Highway

99 over 2,000' to the west of the site. The site has a proposed access point from NE 119th Street via a public road.

WATER AND SEWER
The nearest fire hydrant is located on the south side of NE 119th Street across from the Site. There are no known water wells on-site. Any wells found will be properly abandoned prior to site development. There are no known septic systems onsite. Any septic systems found will be properly abandoned prior to site development.

Water Purveyor = Clark Public Utilities
Sewer Purveyor = Clark Regional Wastewater District

EXISTING ZONING:
R1-6 (Rural Residential District)
Min. Avg. Lot Area = 6,000 S.F.
Max. Avg. Lot Area = 8,500 S.F.
Avg. Min. Lot Width = 50'
Avg. Min. Lot Depth = 90'

Density = 7.3 - 5.1 D.U. / AC

SETBACKS:
Front = 10', Garage = 18', Street Side = 10', Interior Side = 5', Rear = 10'
Max Lot Coverage = 50%, Max Building Height = 35'

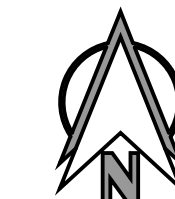
ELECTRICAL SERVICE:
Clark PUD

PROPOSED STORMWATER PLAN:
Stormwater generated from the development of the site shall be treated, conveyed to detention ponds, and discharged to the Type Np stream on-site.

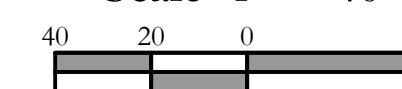
Boundary data and topographical information shown on plan was prepared by PLS Engineering.

Kuokka PUD Subdivision

Located in the SW 1/4 Of Section 25, Township 3N,
Range 1E, W.M.,
Clark County, Washington



Scale 1" = 40'



VICINITY MAP
NOT TO SCALE

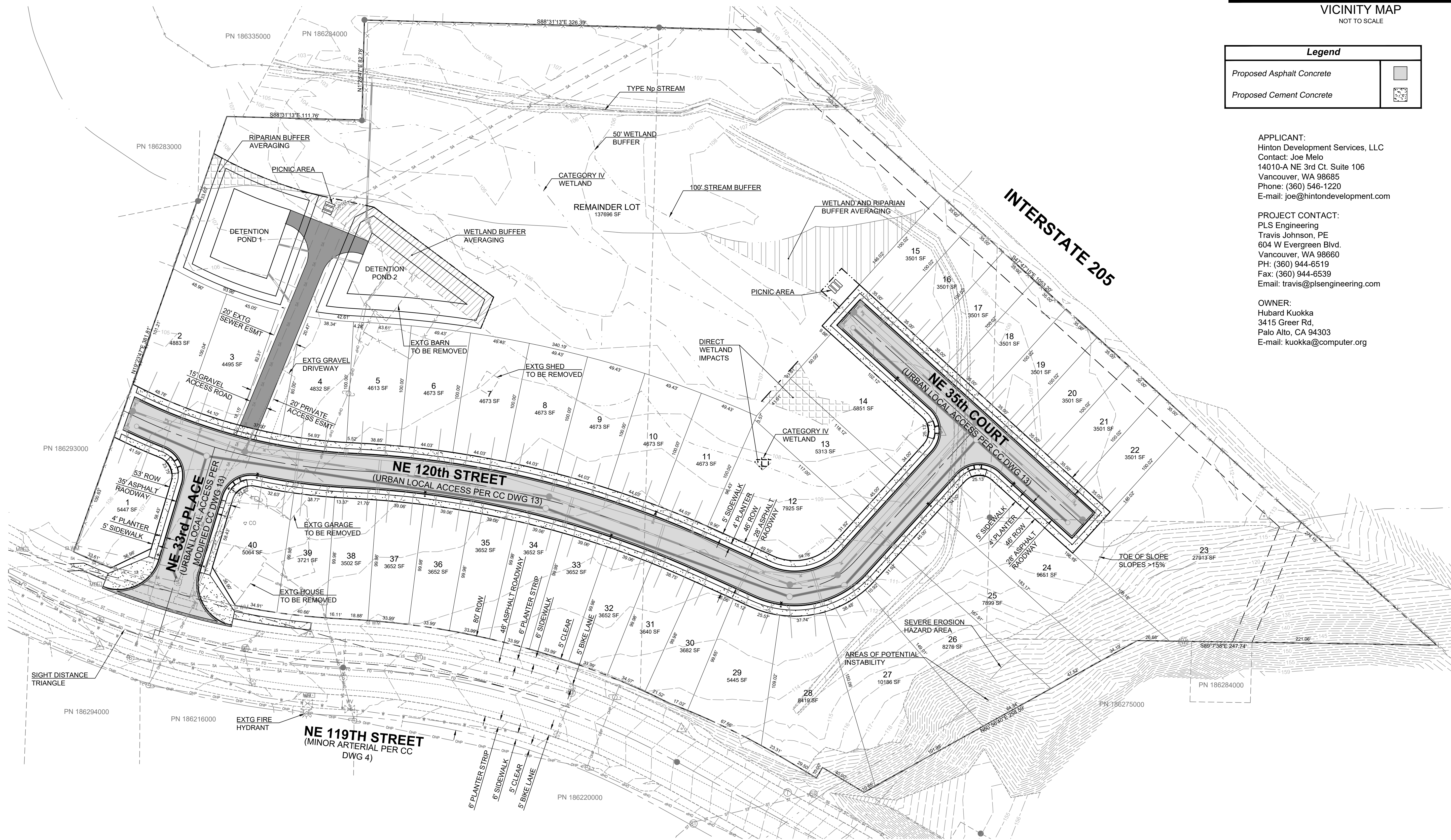
Legend

- Proposed Asphalt Concrete
- Proposed Cement Concrete

APPLICANT:
Hinton Development Services, LLC
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Preliminary Plat for:
Kuokka PUD Subdivision
A Subdivision located in Clark County, WA

Revisions	DATE	DESCRIPTION
1	05/14/2020	Preliminary
2		
3		
4		
5		
6		

Project No. 3035
SCALE: H: 1" = 40' V: N/A
DESIGNED BY: JMT
DRAFTED BY: JSV
REVIEWED BY: TGJ