



Architecture - Interiors  
Planning - Engineering

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**MACKENZIE**  
SENIOR DESIGNER / CLIENT FOCUSED

Client  
**MAJ DEVELOPMENT  
CORP**

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**ARCHAEOLOGICAL NOTE**

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REVISION SCHEDULE

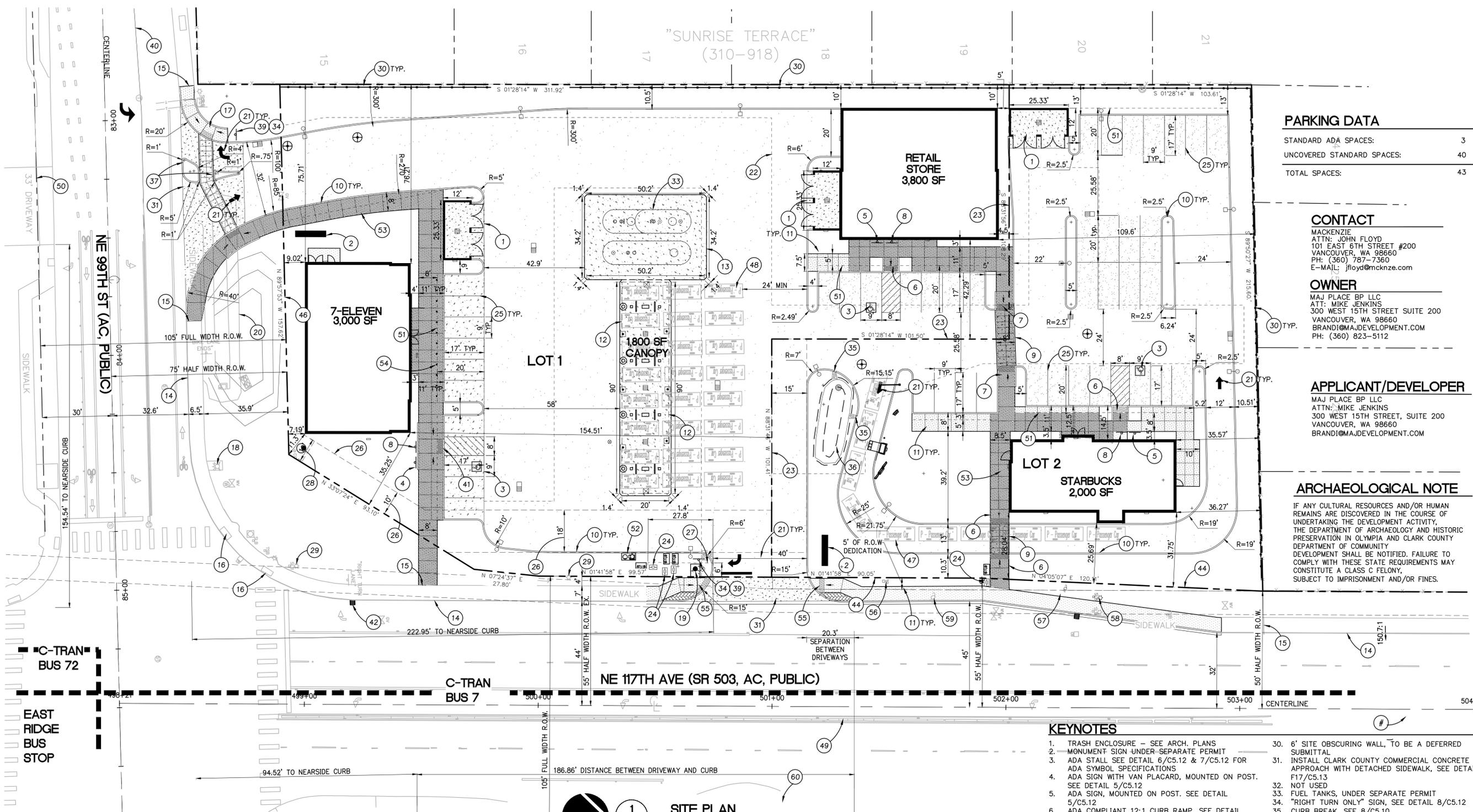
Delta	Issued As	Issue Date

SHEET TITLE:  
**EXISTING  
CONDITIONS AS  
APPROVED IN  
SITE  
FLR-2019-0047**

DRAWN BY: MAF  
CHECKED BY: RLF  
SHEET:

**C1.10**

JOB NO. **2190056.00**

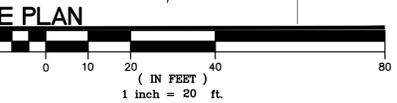


**PARKING DATA**

STANDARD ADA SPACES:	3
UNCOVERED STANDARD SPACES:	40
TOTAL SPACES:	43

**KEYNOTES**

- 1. TRASH ENCLOSURE - SEE ARCH. PLANS
- 2. MONUMENT SIGN UNDER SEPARATE PERMIT
- 3. ADA STALL SEE DETAIL 6/C5.12 & 7/C5.12 FOR ADA SYMBOL SPECIFICATIONS
- 4. ADA SIGN WITH VAN PLACARD, MOUNTED ON POST. SEE DETAIL 5/C5.12
- 5. ADA SIGN, MOUNTED ON POST. SEE DETAIL 5/C5.12
- 6. ADA COMPLIANT 12:1 CURB RAMP, SEE DETAIL 4/C5.10
- 7. ADA CORNER CURB RAMP, SEE DETAIL 6/C5.10
- 8. INSTALL ACCESSIBLE PARKING AISLE SIGN, SEE DETAIL 1/C5.12
- 9. 8' CROSSWALK SEE DETAIL 5/C5.10
- 10. CONCRETE VERTICAL CURB SEE DETAIL 10/C5.12
- 11. SIDEWALK SEE DETAIL 11/C5.12
- 12. FUELING ISLAND CANOPY (UNDER SEPARATE PERMIT)
- 13. FUELING TANK PAD (UNDER SEPARATE PERMIT)
- 14. EXISTING PUBLIC CURB, SEE "R" SHEETS
- 15. MATCH EXISTING PUBLIC SIDEWALK
- 16. EXISTING PUBLIC ADA RAMP (VERIFY ADA COMPLIANCE)
- 17. PUBLIC ADA RAMP SEE F17/C5.13
- 18. EXISTING FIRE HYDRANT TO REMAIN
- 19. INSTALL STD. FIRE HYDRANT
- 20. EXISTING WATER QUALITY FACILITY
- 21. PAINTED DIRECTIONAL ARROW
- 22. PROPOSED PROPERTY LINE
- 23. PROPERTY LINE
- 24. 2" DOMESTIC WATER METER, SEE WATER PLAN SHEET C1.32
- 25. 4" WIDE WHITE STRIPE
- 26. PRIVATE SANITARY SEWER EASEMENT
- 27. PRIVATE WATERLINE EASEMENT
- 28. PUBLIC SANITARY SEWER EASEMENT
- 29. EXISTING LIGHT POLE TO REMAIN
- 30. 6" SITE OBSCURING WALL, TO BE A DEFERRED SUBMITTAL
- 31. INSTALL CLARK COUNTY COMMERCIAL CONCRETE APPROACH WITH DETACHED SIDEWALK, SEE DETAIL F17/C5.13
- 32. NOT USED
- 33. FUEL TANKS, UNDER SEPARATE PERMIT
- 34. "RIGHT TURN ONLY" SIGN, SEE DETAIL 8/C5.12
- 35. CURB BREAK, SEE 8/C5.10
- 36. PRIVATE BIOFILTRATION FACILITY
- 37. INSTALL PORK CHOP ISLAND, WITH VERTICAL CURB PER F18/C5.13
- 38. NOT USED
- 39. INSTALL STOP SIGN PER 2/C5.12
- 40. LANE STRIPING SEE R2.1
- 41. INSTALL PARALLEL CURB RAMP SEE 2/C5.10
- 42. CATCH BASIN
- 43. NOT USED
- 44. RIGHT OF WAY
- 45. NOT USED
- 46. EXPANDED WATER QUALITY FACILITY
- 47. 10 PASSENGER CARS AT 18' EACH FOR QUEUING
- 48. FUELING POSITION PLUS TWO QUEUING SPACES
- 49. EXISTING MEDIAN
- 50. EXISTING DRIVEWAY
- 51. BUMPER OVERHANG
- 52. AIR AND VACUUM STATION
- 53. 8' PEDESTRIAN CIRCULATION ROUTE
- 54. BOLLARDS - SEE ARCHITECTURAL PLANS
- 55. PUBLIC ADA RAMP SEE F-40.16-03/R4.0 AND SHEET R3.0 FOR SITE SPECIFIC DETAILING
- 56. RELOCATED TELEPHONE PEDESTAL SEE SHEET R1.0
- 57. RELOCATED POWER POLE SEE SHEET R1.0
- 58. RELOCATED LIGHT POLE SHEET R1.0
- 59. POWER POLE TO BE RELOCATED 55' NORTH
- 60. EXISTING BUS STOP



**CURB RADIUS NOTE**

ALL CURB RADII 3' UNLESS OTHERWISE NOTED

**EXISTING CONDITIONS**

NO WATERCOURSES OR STREAMS ON OR ADJACENT TO SITE  
NO AREAS PRONE TO FLOODING OR OR ADJACENT OT SITE  
NO FEMA DESIGNATED FLOODPLAINS, FLOOD FRINGE OR FLOODWAYS ON OR ADJACENT TO SITE  
NO DESIGNATED SHORELINE ON OR ADJACENT TO SITE  
NO WATER BODIES OR KNOWN WETLANDS OR ADJACENT TO SITE  
NO WETLANDS DELINEATED ON OR ADJACENT TO SITE  
NO UNSTABLE SLOES OR LANDSLIDE HAZARD AREA ON OR ADJACENT TO SITE  
NO SIGNIFICANT WILDLIFE HABITAT OR VEGETATION ON OR ADJACENT TO SITE  
NO SIGNIFICANT HISTORIC SITES ON OR ADJACENT TO SITE  
NO ROCK OUTCROPPING ON OR ADJACENT TO SITE  
NO KNOWN WELLS OR SEWAGE DISPOSAL SYSTEMS ON OR WITHIN 100 FEET OF SITE

**PROPOSED IMPROVEMENTS**

NO WETLAND, STREAMBANK OR STEEP PROTECTED AREAS PROPOSED  
NO PLANNED ENHANCEMENT AREAS PROPOSED  
NO ROAD SEGMENTS IN EXCESS OF 15% PROPOSED  
SITE DISTANCE STANDARDS ARE MET

**PROJECT LOCATION**



**SITE DATA**

EXISTING SITE AREA	1.97 AC	85,992.6 SF	
RIGHT OF WAY DEDICATION AREAS	0.01 AC	747.9 SF	
NET SITE AREA	1.96 AC	85,244.7 SF	(100%)
TOTAL LANDSCAPE AREA	19,428.3 SF	(22.8%)	
TOTAL BUILDING AREA	9,201.6 SF	(10.8%)	
TOTAL DRIVE ISLE/PARKING AREA	53,902.8 SF	(63.2%)	
TOTAL FUELING CANOPY AREA	1,800.0 SF	(2.1%)	
TOTAL RECYCLING FACILITY AREA	912.0 SF	(1.0%)	
TOTAL AREA	85,244.7 SF	(100.0%)	
PERCENT OF SITE IMPERVIOUS		(77.2%)	

**LOT AREA**

	PROPOSEED	PROPOSED	PROPOSED
LOT 1	52,334.2 SF	1.20 AC	(61.4%)
LOT 2	32,910.5 SF	0.76 AC	(38.6%)
TOTAL AREA	85,244.7 SF	1.96 AC	(100%)

SUBMITTED FOR SHORT PLAT REVIEW: MAY 18, 2020



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REVISION SCHEDULE table with columns: Delta, Issued As, Issue Date

SHEET TITLE:  
**APPROVED SITE PLAN WITH PRELIMINARY SHORT PLAT**

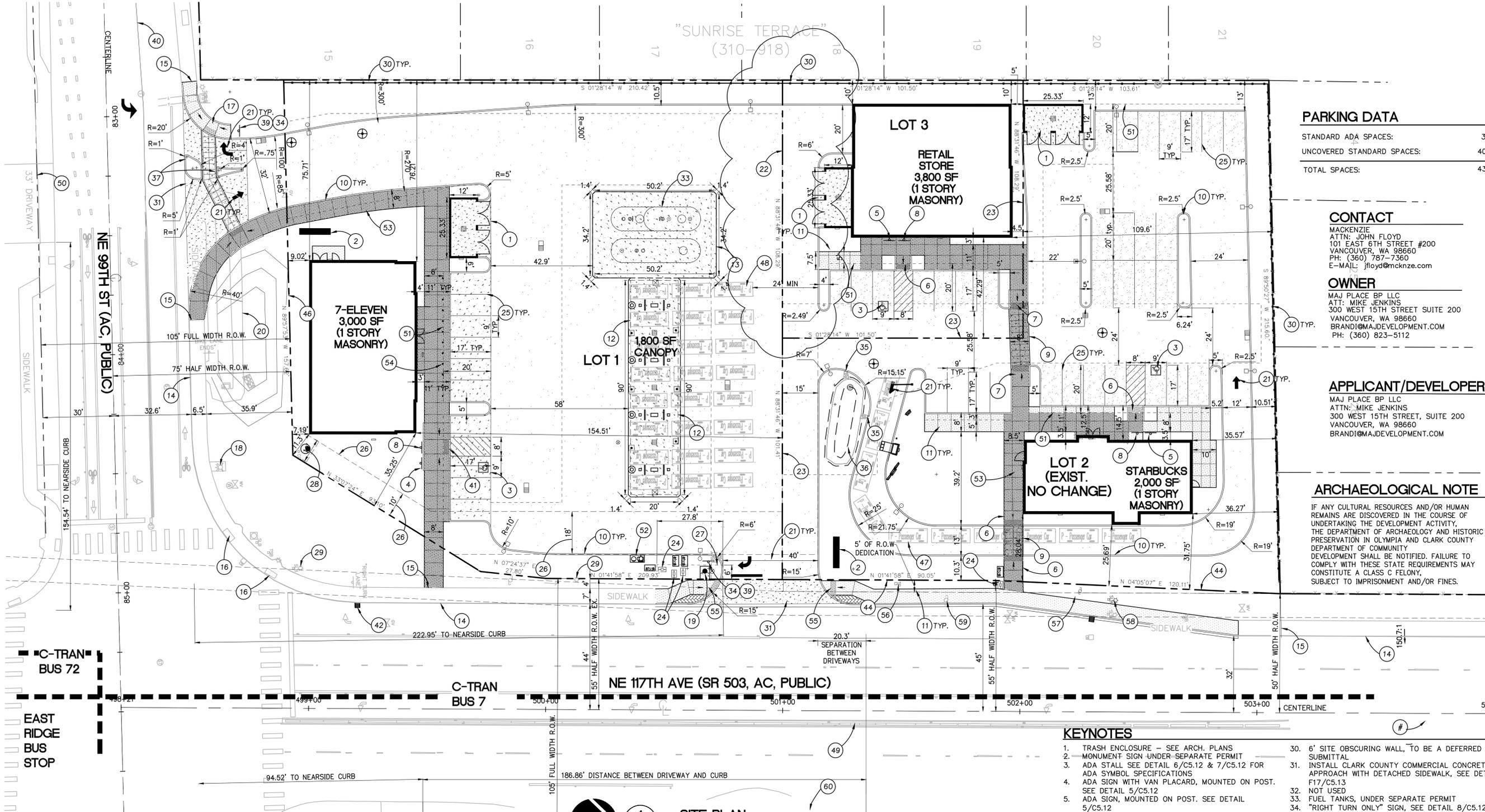
DRAWN BY: MAF  
CHECKED BY: RLF  
SHEET:

**C1.12**

JOB NO. **2190056.00**

**PARKING DATA**

Table with 2 columns: Category, Value. Rows: STANDARD ADA SPACES: 3, UNCOVERED STANDARD SPACES: 40, TOTAL SPACES: 43



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SITE DISTANCE STANDARDS ARE MET

**SITE DATA**

Table with 3 columns: Category, Value, Percentage. Rows: EXISTING SITE AREA (1.97 AC, 85,992.6 SF), RIGHT OF WAY DEDICATION AREAS (0.01 AC, 747.9 SF), NET SITE AREA (1.96 AC, 85,244.7 SF (100%))

Table with 5 columns: LOT, TOTAL SITE AREA, TOTAL BLDG AREA, TOTAL RECYL. AREA, TOTAL LS. AREA/% COVERAGE, TOTAL PAVED WALK. Rows for LOT 1, LOT 2, LOT 3, and TOTAL AREA.

\* INCLUDES FUELING CANOPY
PERCENT OF SITE IMPERVIOUS (77.4%)

**LOT AREA**

Table with 4 columns: LOT, PROPOSEED, PROPOSED, PROPOSED. Rows for LOT 1, LOT 2, LOT 3, and TOTAL AREA.



**2**  
VICINITY MAP  
SCALE: NTS

SUBMITTED FOR SHORT PLAT REVIEW: MAY 18, 2020